



**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

406 Justice Drive, Lebanon, Ohio 45036

www.co.warren.oh.us

commissioners@co.warren.oh.us

Telephone (513) 695-1250

Facsimile (513) 695-2054

TOM GROSSMANN

SHANNON JONES

DAVID G. YOUNG

GENERAL SESSION AGENDA

October 12, 2023

- #1** *Clerk — General*
- #2** **5:00** *Administrative Hearing— Continuation of Site Plan Review Application
of N & G Takhar Oil LLC in Turtlecreek Township*

The Board of Commissioners' public meetings can now be streamed live at [Warren County Board of Commissioners - YouTube](#)

APPROVE REQUISITIONS AND AUTHORIZE COUNTY ADMINISTRATOR TO SIGN DOCUMENTS RELATIVE THERETO

BE IT RESOLVED, to approve requisitions as listed in the attached document and authorize Tiffany Zindel, County Administrator, to sign on behalf of this Board of County Commissioners.

M. moved for adoption of the foregoing resolution being seconded by M. Upon call of the roll, the following vote resulted:

M
M
M

Resolution adopted this day of 2023.

BOARD OF COUNTY COMMISSIONERS

Tina Osborne, Clerk

/tao

cc:

Commissioners' file

PO CHANGE ORDERS

Department	Vendor Name	Description	Amount
ENG	EAGLE BRIDGE CO	ENG KING AVE BRIDGE IMPR	\$ 314,366.91 INCREASE

10/12/2023 APPROVED:

Tiffany Zindel, County Administrator

CONSENT AGENDA*

October 12, 2023

PERSONNEL

1. *Hire Jamie Nickell and Marquita Hoskins as Assessment Investigative Caseworker II within Children Services*

GENERAL

2. *Enter into agreement with the City of Lebanon relative to reimbursement for public defender expenditures for 2023/2024*
3. *Enter into contract with Fishel, Downey, Albrecht, & Riepenhoff on behalf of Emergency Services and Sheriff's Office*
4. *Enter into final legislation with ODOT for various bridge and culvert repairs (PID 112978)*
5. *Enter into classroom training agreement with Southern State Community College on behalf of Warren County OhioMeansJobs*
6. *Authorize acceptance of quote with Buckeye Power Sales Co. Inc. on behalf of Telecommunications*
7. *Transfer desk no longer being utilized by Telecommunications to Massie Township*
8. *Acknowledge approval of financial transactions*
9. *Approve performance bond release for Village of Hopewell Valley in Hamilton Township*

FINANCIAL

10. *Approve operational transfer from Commissioners' 11011112 into Human Services 2203*
11. *Approve supplemental appropriation into Airport 4479*
12. *Approve appropriation adjustment within Common Pleas, Juvenile, Telecomm, Clerk of Courts, County Court, Mary Haven, Children Services, Water Revenue, and Water Project*

**Please contact the Commissioners' Office at (513) 695-1250 for additional information or questions on any of the items listed on the Consent Agenda*



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: Thomas Howard DEPARTMENT: CSEA

*POSITION: Director DATE: 10/9/23

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:
Ohio Child Support Directors' Association Fall Training.

LOCATION:
Columbus, Ohio

DATE(S): October 23 - 24, 2023

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: _____

ESTIMATED COST OF TRIP: \$168.00

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Thomas Howard - Director 10-9-23
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Alison Vendely - Hearing Officer; Michelle Belknap - APA; Erika Neuhausser - Investigator; McKenzie Gorsuch - Investigator; Stephen Kelly - Investigator; Andrew Ritchie - APA



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*NAME OF ATTENDEE: STEVE SCOTT DEPARTMENT: BUILDING/ZONING

*POSITION: MASTER PLANS EXAMINER DATE: 10/05/2023

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:
32ND ANNUAL JOINT CONFERENCE BY OHIO BUILDING OFFICIAL ASSOC AND BOBONEO FOR EDUCATIONAL CLASSES

LOCATION:
MARRIOTT CLEVELAND EAST, 26300 HARVARD ROAD, WARRENSVILLE HEIGHTS, OH 44122

DATE(S): NOVEMBER 5-7, 2023

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: 3 ROOMS \$238 A PIECE = \$714.00

ESTIMATED COST OF TRIP: CONFERENCE \$1,350 + LODGING \$714.00 = \$2,064

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:
 10/9/23
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:
ALDEN PAYZANT AND MICHAEL GLADWELL



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

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*NAME OF ATTENDEE: Kimberly Lee DEPARTMENT: Warren County Court

*POSITION: Probation officer DATE: 10/11/2023

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE: 2023 Ohio Bailiff and Court Officers Fall Conference

LOCATION: Embassy Suites, Dublin, Ohio

DATE(S): October 26-27, 2023

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: Embassy Suites, Dublin, Ohio

ESTIMATED COST OF TRIP: Reg:\$299; hotel:\$303.15; mileage \$92 x2= \$1388.30

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Melissa Moeck 10/11/23
Signature/Title Court Admin Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Mary Velde



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: DONALD E ODA II DEPARTMENT: COMMON PLEAS CRT

*POSITION: JUDGE DATE: 10/6/23

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:

2022 OCPJA WINTER CONFERENCE

LOCATION:

EMBASSY SUITES DUBLIN OH

DATE(S): 12/5-12/8/23

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: \$135/NIGHT (3 NIGHTS) = \$405

ESTIMATED COST OF TRIP: REG\$400; MLG \$91.30; MEALS\$224; PARKING\$60

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Samuel Burnside 10/6/23
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Judge Timothy Tape, Judge Robert Peeled

**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

Resolution

Number 23-1178

Adopted Date September 12, 2023

**CONTINUE ADMINISTRATIVE HEARING TO CONSIDER SITE PLAN REVIEW
APPLICATION OF N & G TAKHAR OIL LLC IN TURTLECREEK TOWNSHIP**


BE IT RESOLVED, to continue the administrative hearing to consider the site plan review application of N & G Takhar Oil LLC in Turtlecreek Township; said administrative hearing to be continued to Thursday, October 12, 2023, at 5:00 p.m. in the Commissioners' Meeting Room, 406 Justice Drive, Lebanon, Ohio 45036.

Mr. Young moved for adoption of the foregoing resolution being seconded by Mr. Grossmann. Upon call of the roll, the following vote resulted:

Mrs. Jones - yea
Mr. Grossmann - yea
Mr. Young - yea

Resolution adopted this 12th day of September 2023.

BOARD OF COUNTY COMMISSIONERS



Tina Osborne, Clerk

cc: RPC
RZC
Rezoning file
Applicant
Township Trustees

CASE # 102-2023

Site Plan Review- N & G Takhar Oil LLC

APPLICANT/OWNER/AGENT

N & G Takhar Oil LLC

TOWNSHIP

Turtlecreek

PROPERTY LOCATION

ADDRESS

Greentree Road

PIN

08-31-300-012

PROPERTY SIZE

13.0465 +/- Acres, 1,518' of frontage

CURRENT ZONING DISTRICT	MXU-C
FUTURE LAND USE MAP (FLUM) DESIGNATION	Turtlecreek- Commercial
EXISTING LAND USE	Agricultural
SITE PLAN REQUESTED	Convenience Store
ISSUE FOR CONSIDERATION	Convenience Store and Fueling canopies

Review Process

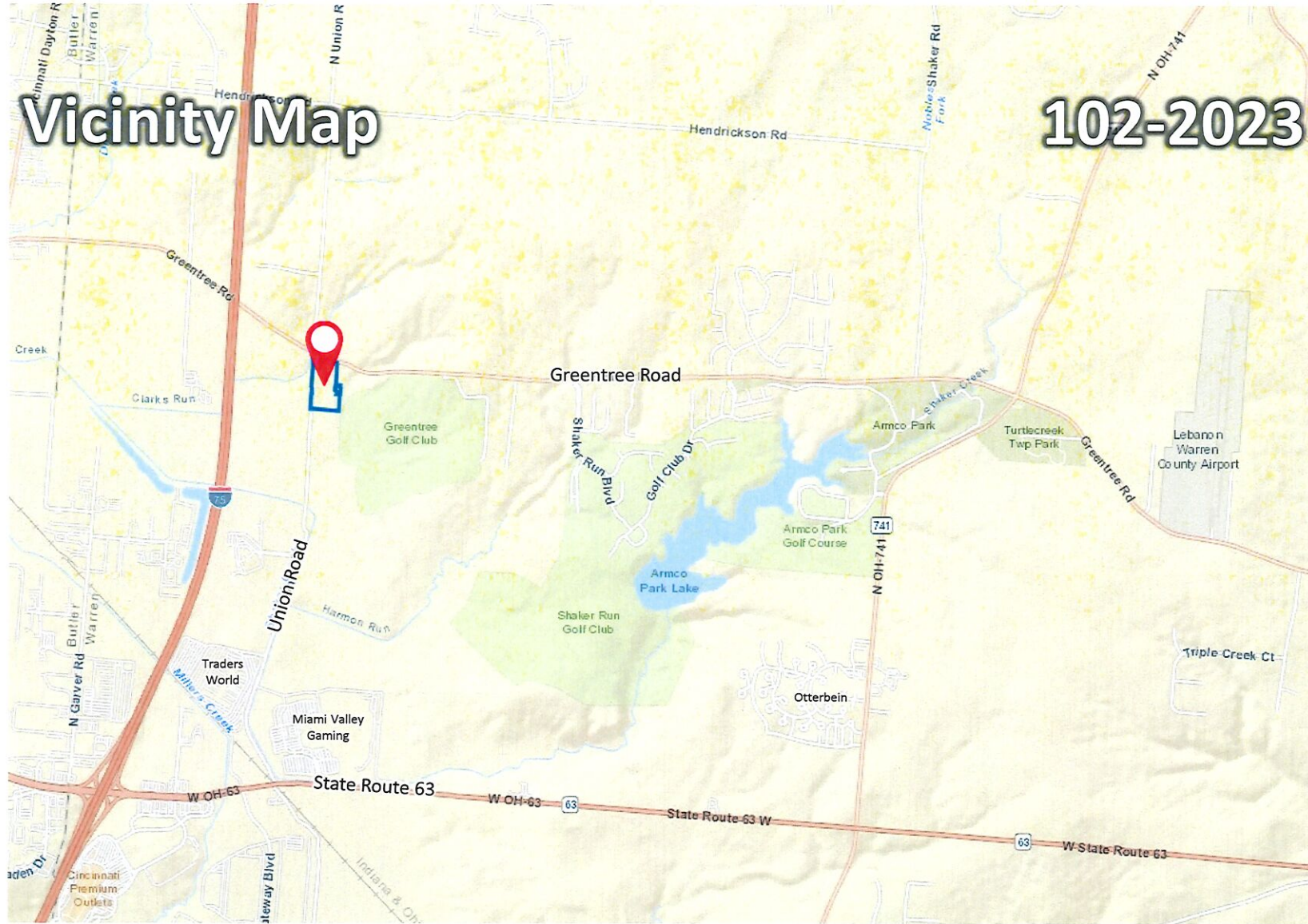
Site Plan

Board of County Commissioners

September 12, 2023 (Continued)
October 12, 2023

Vicinity Map

102-2023



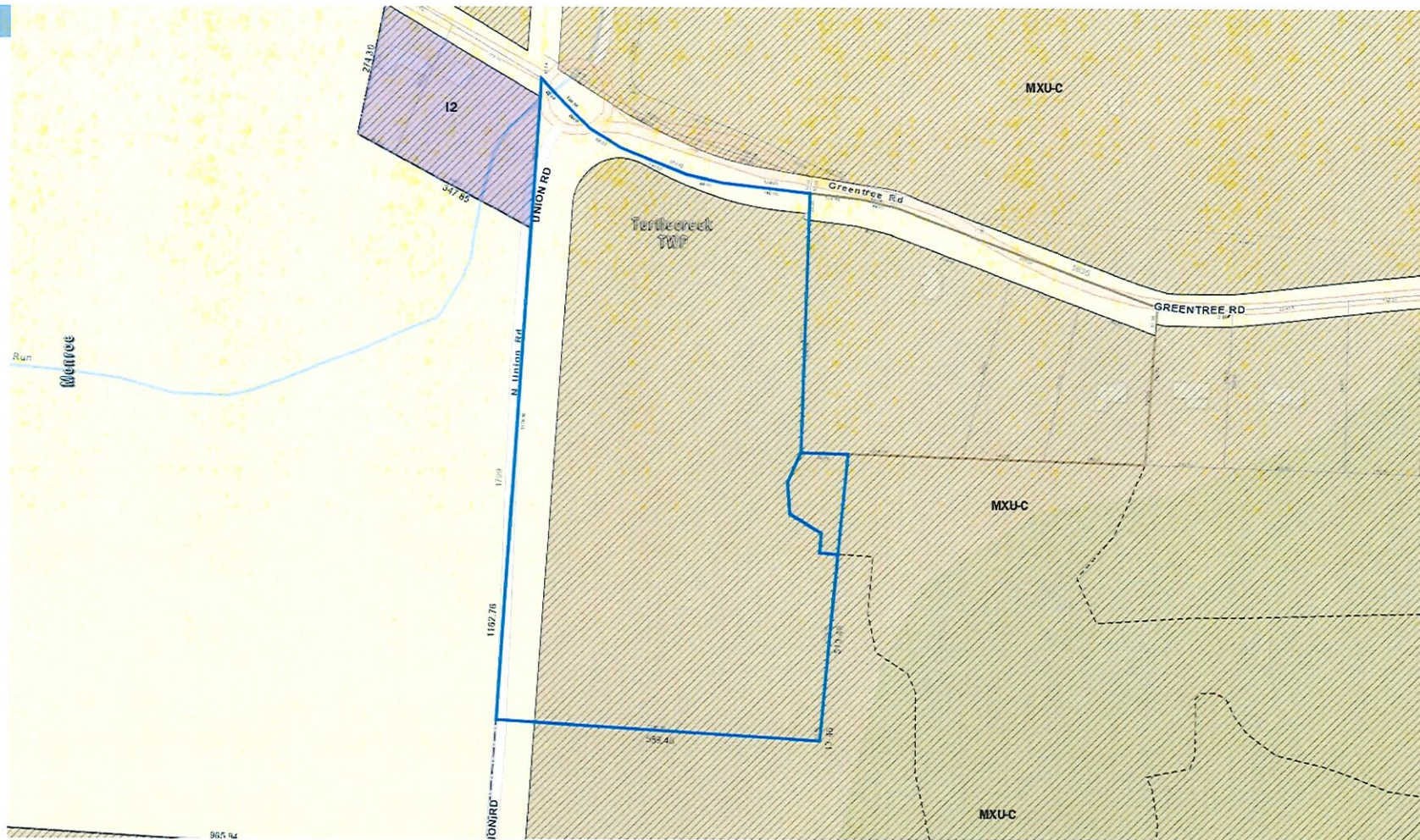
Aerial Map

102-2023



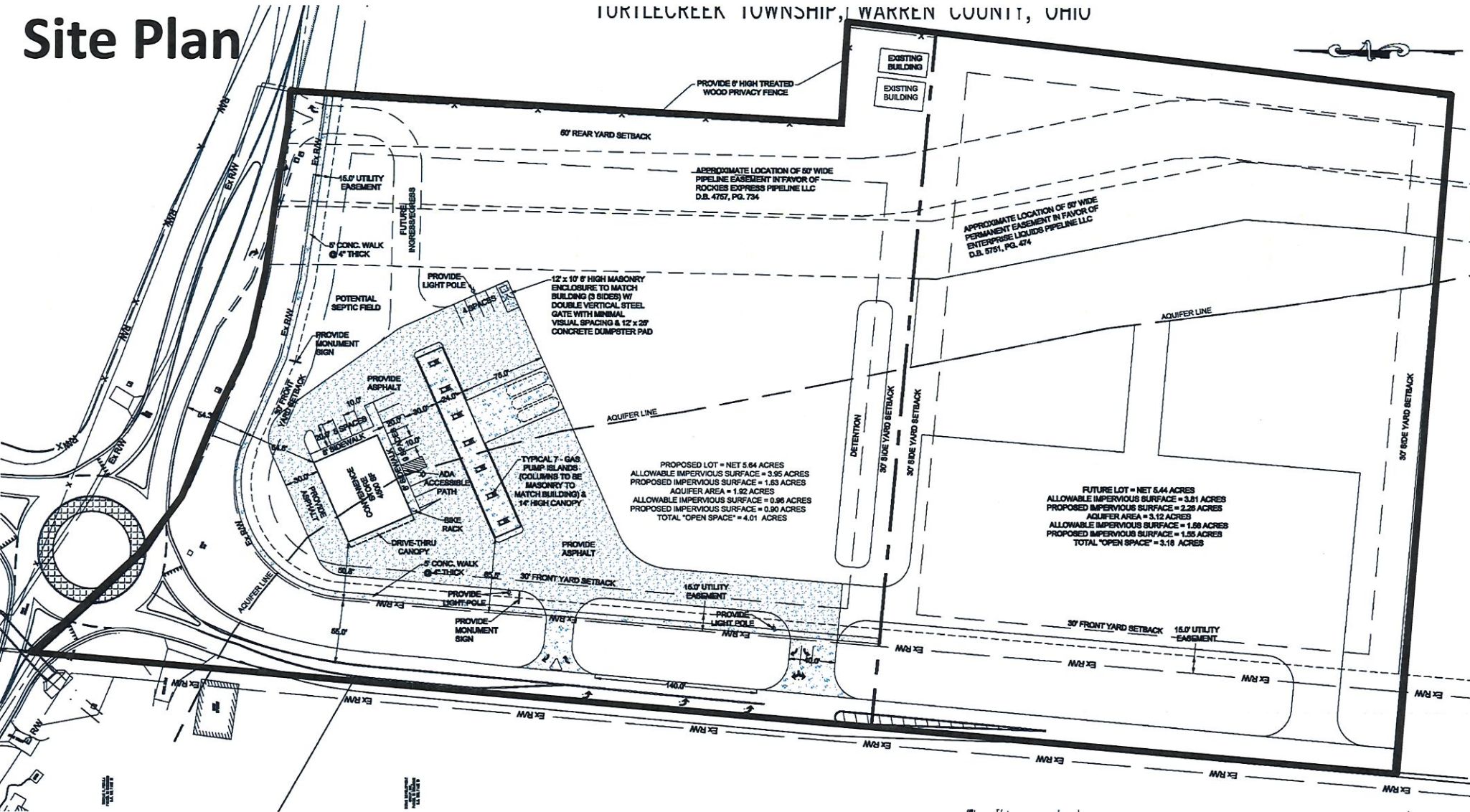
Zoning Map

102-2023



Site Plan

TURTLECREEK TOWNSHIP, WARREN COUNTY, OHIO



PROVIDE 6' HIGH TREATED WOOD PRIVACY FENCE

EXISTING BUILDING
EXISTING BUILDING

60' REAR YARD SETBACK

APPROXIMATE LOCATION OF 60' WIDE PIPELINE EASEMENT IN FAVOR OF ROCKIES EXPRESS PIPELINE LLC D.B. 4757, PG. 734

APPROXIMATE LOCATION OF 60' WIDE PERMANENT EASEMENT IN FAVOR OF ENTERPRISE LIQUIDS PIPELINE LLC D.B. 5751, PG. 474

15.0' UTILITY EASEMENT

6" CONC. WALK @ 4" THICK

POTENTIAL SEPTIC FIELD

PROVIDE MONUMENT SIGN

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

PROVIDE ASPHALT

12' x 10' 6" HIGH MASONRY BUILDING (3 SIDES) W/ DOUBLE VERTICAL STEEL GATE WITH MINIMAL VISUAL SPACING & 12' x 20' CONCRETE DUMPSTER PAD

AQUIFER LINE

PROPOSED LOT = NET 5.64 ACRES
ALLOWABLE IMPERVIOUS SURFACE = 3.95 ACRES
PROPOSED IMPERVIOUS SURFACE = 1.53 ACRES
AQUIFER AREA = 1.82 ACRES
ALLOWABLE IMPERVIOUS SURFACE = 0.96 ACRES
PROPOSED IMPERVIOUS SURFACE = 0.90 ACRES
TOTAL "OPEN SPACE" = 4.01 ACRES

30' FRONT YARD SETBACK

15.0' UTILITY EASEMENT

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

PROVIDE LIGHT POLE

DETECTION

30' SIDE YARD SETBACK

30' SIDE YARD SETBACK

AQUIFER LINE

FUTURE LOT = NET 5.64 ACRES
ALLOWABLE IMPERVIOUS SURFACE = 3.81 ACRES
PROPOSED IMPERVIOUS SURFACE = 2.28 ACRES
AQUIFER AREA = 3.12 ACRES
ALLOWABLE IMPERVIOUS SURFACE = 1.58 ACRES
PROPOSED IMPERVIOUS SURFACE = 1.55 ACRES
TOTAL "OPEN SPACE" = 3.18 ACRES

30' FRONT YARD SETBACK

15.0' UTILITY EASEMENT

30' SIDE YARD SETBACK

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

Ex RM

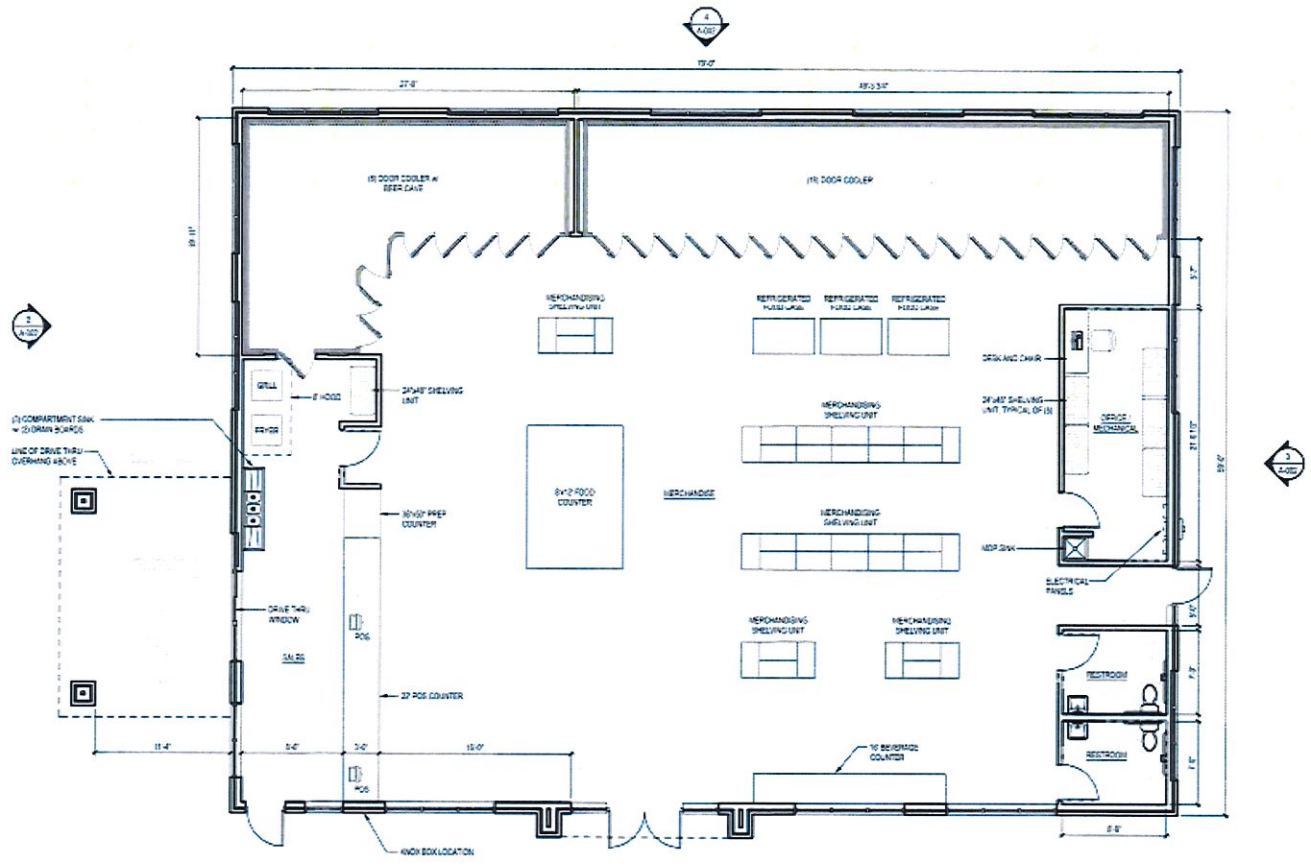
Ex RM

Ex RM

Ex RM

Ex RM

PRELIM LAYOUT

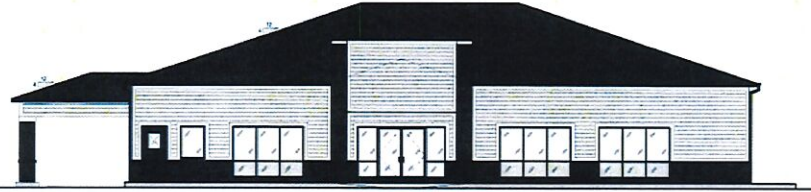


ELEVATION

TO LOW ROOF
23'3 1/2" AFF

TO LOW ROOF
14'3 1/2" AFF

FINISH FLOOR
0'0" AFF



1 SOUTH ELEVATION
SCALE 1/8\"/>

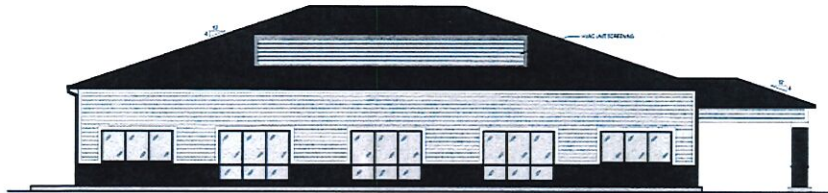
MATERIAL PALETTE	
	BEIGE HARDIE PLANK COLOR PER OWNER
	BRICK COLOR PER OWNER
	WHITE TRIM
	SHINGLE ROOF COLOR PER OWNER
	BLACK ANODIZED METAL FINISH
	CLEAR GLAZING
	SPANDREL GLAZING



2 WEST ELEVATION
SCALE 1/8\"/>



3 EAST ELEVATION
SCALE 1/8\"/>



4 NORTH ELEVATION
SCALE 1/8\"/>

MATERIAL PALETTE	
	BEIGE HARDIE PLANK COLOR PER OWNER
	BRICK COLOR PER OWNER
	WHITE TRIM
	SHINGLE ROOF COLOR PER OWNER
	BLACK ANODIZED METAL FINISH
	CLEAR GLAZING
	SPANDREL GLAZING

Staff Summary

Location	Roundabout at Union and Greentree Road.
Parking	Required 1 space per 300 sq ft. = 15 spaces. (may increase by 20% per code) 18 spaces shown.
Landscaping	Landscaping Plan complies with the requirements for street trees and around all signage. Buffer Type D is required along the eastern boundary.
Signage	The sign height, setback and square feet meets the requirements of the code.
Lighting	Lighting meets the cutoff required by code. Maximum pole height 25'.
Service Structures	Required construction and buffering is met on 2 sides.

Site Plan Review Criteria – Section 1.303.6

The site plan review is conducted to determine anticipated impacts on the public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable. The factors to be considered and weighed by the Approving Authority include but are not limited to the following, but no single factor controls in making a decision, nor must all of the factors support the decision:

(A) Adequacy of Information and Compliance with Zoning Code

(I) Exterior Lighting

(B) Design Layout Sufficiency and Sensitivity

(J) Signage

(C) Design Character, Operational Compatibility, and Coordination

(K) Public Service Impact

(D) Preservation of Significant Features

(L) Stormwater Drainage Stormwater Management Plan

(E) Pedestrian Access and Circulation

(M) Soil Erosion and Sediment Control

(F) Vehicular Access and Circulation Streets

(N) Emergency Access and Service Facilities and Public Safety

(G) Parking and Loading

(O) Building Design

(H) Landscaping and Screening

(P) Compliance with Public Health and Safety

Reviewing Departments

- Warren County Engineer
- Warren County Water and Sewer Department
- Warren County Soil and Water Conservation
- Warren County Regional Planning Commission
- Turtlecreek Township Trustees
- Turtlecreek Township Fire Department
- Warren County Combined Health District
- Warren County Building Department
- Warren County Sheriff

Department Comments – Turtlecreek Township

The Board of Trustees of Turtlecreek Township and the Fire Chief would request that **additional landscape buffers** be required on the residential side of the property, **down lighting** be implemented to eliminate a nuisance to the residential property owners, the **truck fueling stations be eliminated** as well as **truck parking**, the **hours of operation be limited to 6:00 a.m. to 11:00 p.m. daily**, **brick exterior** be used on the building and that a **fire hydrant be located on the east side of Union Road**.



MR. JAMES VANDEGRIFT
MR. DANIEL JONES
MR. JONATHAN SAMS
MS. AMANDA CHILDERS

TRUSTEE
TRUSTEE
TRUSTEE
FISCAL OFFICER

September 11, 2023

Warren County Rural Zoning Inspection
Attn: Michelle Tegtmeier
406 Justice Drive
Lebanon, Ohio 45036

Re: N&G Takhar Oil LLC

Dear Ms. Tegtmeier;

The Board of Trustees of Turtlecreek Township and the Fire Chief have reviewed N&G Takhar Oil LLC Site Plan.

The Board of Trustees of Turtlecreek Township and the Fire Chief would request that additional landscape buffers be required on the residential side of the property, down lighting be implemented to eliminate a nuisance to the residential property owners, the truck fueling stations be eliminated as well as truck parking, the hours of operation be limited to 6:00 a.m. to 11:00 p.m. daily, brick exterior be used on the building and that a fire hydrant be located on the east side of Union Road.

The Board of Trustees of Turtlecreek Township and Fire Chief would like to thank you for submitting the N&G Takhar Oil LLC Site Plan for the township's review.

Sincerely,

Daniel F. Jones
Board of Trustees Turtlecreek Township
Chairperson

DFJ/tb
Cc: file



670 North State Route 123
Lebanon, OH 45036



513.932.4902



info@turtlecreektownship.org

Department Comments (RPC)

Approve the site plan subject to the following conditions:

1. Compliance with the standards of the Warren County Rural Zoning Code; Section 1.303.3.
2. Compliance with the Warren County Engineer's Office standards. A traffic impact analysis shall be done before Zoning Permit approval. All access points shall be reviewed and approved by the Engineer's Office. The timing of the "future ingress/ egress" to Greentree Road shall be determined by the Warren County Engineer's Office and if that access point will provide full or limited access.
3. Dedicate the right-of-way along Union Road and Greentree Road in compliance with the Warren County Thoroughfare Plan.

Department Comments (RPC)

4. The stormwater management plan shall be reviewed and approved by the Warren County Engineer's Office.
5. Sidewalks shall be installed along the frontages of Union Road and Greentree Road and be located outside the right-of-way. A pedestrian connection shall be constructed from the building to the sidewalk (Section 3.303 C Warren County Rural Zoning Code).
6. Compliance with the Ohio Environmental Protection Agency (OEPA) requirements and standards. The OEPA shall review and approve the septic system.

Department Comments (RPC)

7. Compliance with the Warren County Health Department regarding food safety, and plumbing.
8. Building materials and design shall be consistent with the application submittal on Exhibit A-002.
9. The dumpster enclosure shall be similar materials as the primary structure and screened with landscaping in compliance with Article 3, Chapter 4 of the Warren County Rural Zoning Code.
10. LED signage is prohibited on the fueling pump canopy, standalone signs are limited to monument signs.

Department Comments (RPC)

11. Compliance with the requirements and standards of the existing oil and gas pipelines.

Department Comments (RPC)

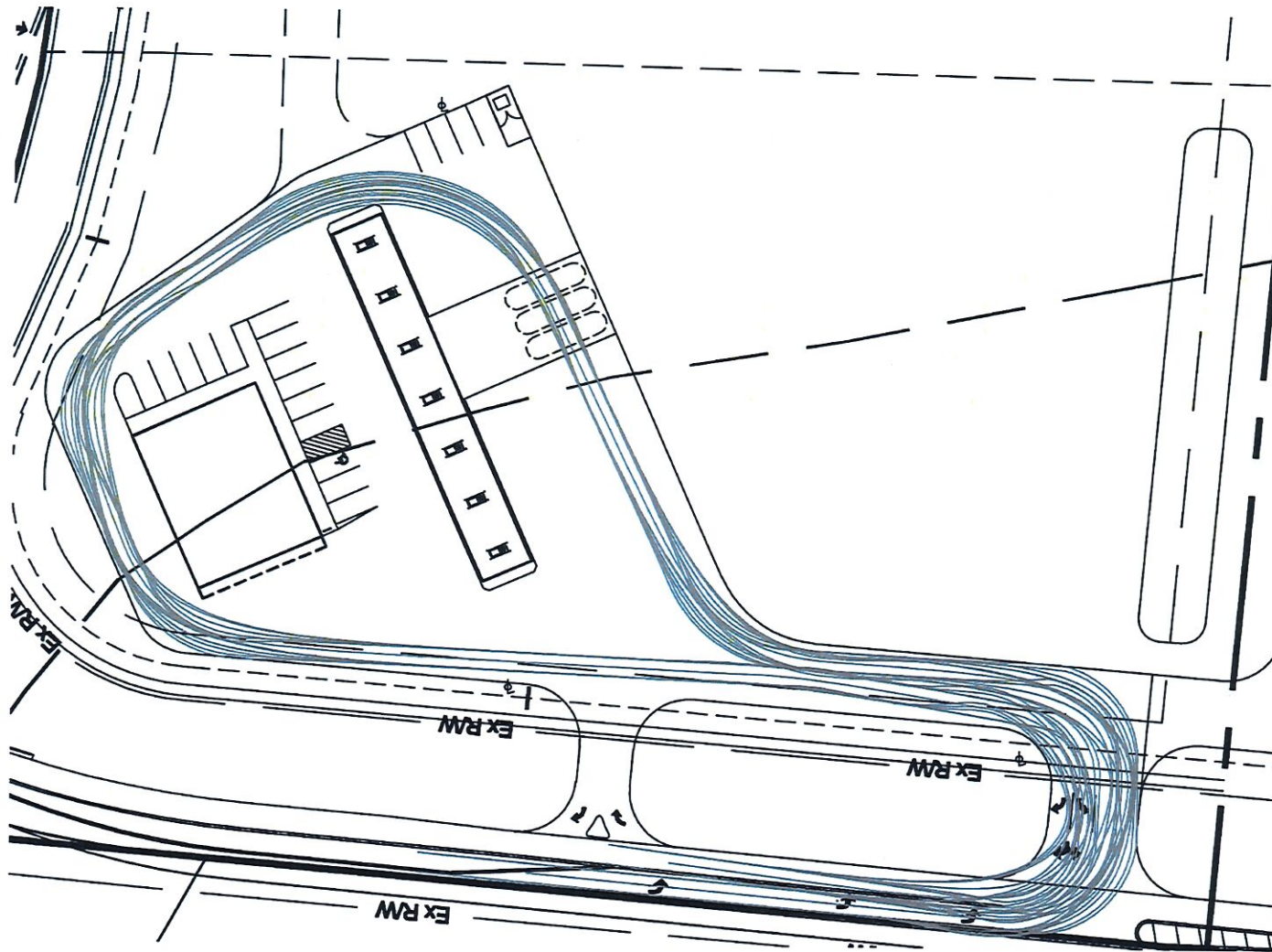
12. The applicant submits an updated site plan illustrating the following:

- a. Add the open space calculation and quantity in a summary table.
- b. Landscaping along the eastern and southern property line (Table 3.405-1 Lot Perimeter Buffer Type D). A tree study may be done along the east boundary to be reviewed by the Zoning Inspector to determine if the existing trees meet or exceed the Buffer Type D requirements. Landscaping to be located outside the Public Utility Easement.
- c. Fire hydrant locations in compliance with the requirements of the Turtlecreek Township Fire Department.
- d. Details of the lighting poles, and privacy fence.

ANY
QUESTIONS?



BACKUP SLIDES



TRUCK NAVIGATION PLAN



WARREN COUNTY REGIONAL PLANNING COMMISSION

MEETING DATE: October 12, 2023
TO: Michelle Tegtmeier, Director of Building & Zoning Department
FROM: Ryan Cook, Senior Planner
SUBJECT: **Greentree & Union Convenience Mart Site Plan Review**

GENERAL INFORMATION

Applicant Name: N&G Takhar Oil, LLC
Engineer: Leesman Engineering & Associates
Property Owner: FRL Real Estate, LLC
Township: Turtlecreek
Parcel ID: 08-31-300-012
Address: Greentree Road, Lebanon OH 45036
Zoning: MXU-C Mixed-Use Center
Current Use: Vacant Land/Agriculture
Lot Area: 13.0465 acres



PROPOSAL

The applicant is proposing a convenience mart – carry out store with the sale of gasoline. Site access will be from Union Road and a future roadway connection to Greentree Road. The vehicle fuel station consists of 14 total fueling stations with a canopy with columns to match the building. The proposed store includes a drive-thru canopy attached to the building for food and beverage/retail sales. The plan illustrates 18 car parking spaces and the convenience mart will have 3 employees.

SITE PLAN RECOMMENDATION

Approve the site plan subject to the following conditions:

1. Compliance with the standards of the Warren County Rural Zoning Code; Section 1.303.3.
2. Compliance with the Warren County Engineer's Office standards. A traffic impact analysis shall be done before Zoning Permit approval. All access points shall be reviewed and approved by the Engineer's Office. The timing of the "future ingress/ egress" to Greentree Road shall be determined by the Warren County Engineer's Office and if that access point will provide full or limited access.
3. Dedicate the right-of-way along Union Road and Greentree Road in compliance with the Warren County Thoroughfare Plan.
4. The stormwater management plan shall be reviewed and approved by the Warren County Engineer's Office.
5. Sidewalks shall be installed along the frontages of Union Road and Greentree Road and be located outside the right-of-way. A pedestrian connection shall be constructed from the building to the sidewalk (Section 3.303 C Warren County Rural Zoning Code).
6. Compliance with the Ohio Environmental Protection Agency (OEPA) requirements and standards. The OEPA shall review and approve the septic system.
7. Compliance with the Warren County Health Department regarding food safety, and plumbing.
8. Building materials and design shall be consistent with the application submittal on Exhibit A-002.

9. The dumpster enclosure shall be similar materials as the primary structure and screened with landscaping in compliance with Article 3, Chapter 4 of the Warren County Rural Zoning Code.
10. LED signage is prohibited on the fueling pump canopy, standalone signs are limited to monument signs.
11. Compliance with the requirements and standards of the existing oil and gas pipelines.
12. The applicant submits an updated site plan illustrating the following:
 - a. Add the open space calculation and quantity in a summary table.
 - b. Landscaping along the eastern and southern property line (Table 3.405-1 Lot Perimeter Buffer Type D). A tree study may be done along the east boundary to be reviewed by the Zoning Inspector to determine if the existing trees meet or exceed the Buffer Type D requirements. Landscaping to be located outside the Public Utility Easement.
 - c. Fire hydrant locations in compliance with the requirements of the Turtlecreek Township Fire Department.
 - d. Details of the lighting poles, and privacy fence.

STAFF REVIEW

ACCESS

Two proposed curb cuts along Union Road will provide ingress and egress to the site. The northern access point will be utilized by vehicle and truck traffic. There is a proposed "Future Ingress/Egress" to Greentree Road to be utilized by vehicle traffic and appears to be a right-in, right-out. The Warren County Engineer's Office shall review and approve the internal circulation and proposed access points. There should also be a timing of completion to the "Future Ingress/Egress" determined by the Warren County Engineer's Office.

ENVIRONMENTAL FEATURES

Overall the site is relatively flat in nature. There is an existing treeline along the east boundary which should remain. Roughly 50% of the site is within the groundwater protection overlay.

UTILITIES

Water service will be provided by Warren County. Wastewater will be handled by on-site septic to be approved by the Ohio Environmental Protection Agency (OEPA). Two pipeline easements run through the property. One being Rockies Express Pipeline, LLC, and the other Enterprise Liquids Pipeline.

SIDEWALKS

Sidewalks shall be included on the site plan along the frontages of Union Road and Greentree Road and shall connect to the convenience store to provide easy pedestrian connectivity to the site. The sidewalks should be placed outside of the ROW.

THOROUGHFARE PLAN

The site has frontage on Union Road and Greentree Road. The Warren County Thoroughfare Plan indicates both roadways as Major Collector/Distributor classification. This cross-section has 104' of total ROW (52' from the centerline) with a 15' public utility easement. The ROW shall be dedicated in compliance with the Major Collector/Distributor cross-section.



ENGINEER'S OFFICE

Ryan,

Our office will require the applicant to complete an Access Permit application and a TIS. They will also be required to comply with our Stormwater regulations.

Thanks,

Kurt E. Weber, PE, PS
Chief Deputy Engineer
Warren County Engineer's Office
210 West Main Street
Lebanon, OH 45036
direct: 513-695-3306
kurt.weber@co.warren.oh.us

OHIO ENVIRONMENTAL PROTECTION AGENCY

Hello Ryan,

I have completed my review and have the following comments/requirements:

- Does the gas station/convenience store have flow records from existing similarly sized facilities that can help pinpoint wastewater flow volumes? Without knowing all the details this facility has potential to have a significant wastewater flow volume.
- Will there be food service within the convenience store? The drive thru suggest there might be food service. If so, considerations will need to be taken for a pretreatment component of the on-site septic system.
- The plans highlights 2 potential septic fields, will both fields be utilized at start up? If so, enough space will need to reserved for a replacement field. Both the active field and replacement field will need designated on the PTI application.
- Without a soils report it is difficult to determine suitability of the soils and type of on-site system for the facility. The developer should consult a soil scientist early on to determine soil suitability, this will aid in placement of the active septic field and replacement septic field.
- Have the developer consult an certified engineer to help estimate size and design of the system.

Thank you for the opportunity to preview these plans, if you have any questions please let me know.



Kevin Chandler
Environmental Specialist II
Division of Surface Water



WARREN COUNTY HEALTH DISTRICT

416 South East Street – Lebanon, Ohio 45036

Duane Stansbury, REHS, MPH
Health Commissioner

August 14, 2023

Ryan Cook
Warren County Regional Planning Commission
County Administration Building
406 Justice Drive
Lebanon, Ohio 45036

RE: Greentree & Union Road Convenience Store Site Plan Review

Dear Mr. Cook:

This letter is in response to your request for comments and/or requirements for the above referenced proposed Greentree & Union Road Convenience Store Site Plan Review, located in Turtlecreek Township to be reviewed by the Warren County Regional Planning Commission (RPC) Executive Committee and staff.

The proposed convenience store will have an on-site septic system. Based on the preliminary drawing provided and the Ohio Administrative Code 3745 -42-05 (A), this potential system will generate over 1,000 gallons of water per day which falls under the jurisdiction of the Ohio Environmental Protection Agency, and is therefore not under the health district's jurisdiction. However, prior to building, the property owner must contact the Warren County Health District's Generalist Division for Food Safety and Plumbing Division to obtain any necessary permits. The Generalist Division can be reached at 513-695-3098 and the Plumbing Division can be reached at 513-695-1475.

If you have any questions, I can be reached either at 513-695-1473 or at bking@wcchd.com.

Sincerely,

A handwritten signature in black ink that reads "Brad King". The signature is written in a cursive style.

Brad King, MPH, REHS
Environmental Health Supervisor

CC: Duane Stansbury, REHS, MPH, Health Commissioner
Chris Balster, MPH, REHS, Assistant Health Commissioner
Tara Thornton, REHS, Director of Environmental Health
Benjamin Ginter, REHS, Environmental Health Supervisor
Ed Mann, Chief Plumbing Inspector

SOIL & WATER

Good afternoon Ryan,

The Warren County Soil and Water Conservation District has the following comments for the Greentree & Union Convenience Store Site Plan Review:

1. An Earth Disturbing Permit from Warren County SWCD will be required if 1 acre or more of land will be disturbed during construction. Please contact Warren SWCD for more information.

Thank you,

Tessa

Tessa Wagner

Urban Program Specialist

Warren County Soil and Water Conservation District

PHONE - (513) 695-1355 | EMAIL Tessa.Wagner@co.warren.oh.us

TURTLECREEK TOWNSHIP



MR. JAMES VANDEGRIFT
MR. DANIEL JONES
MR. JONATHAN SAMS
MS. AMANDA CHILDERS

TRUSTEE
TRUSTEE
TRUSTEE
FISCAL OFFICER

September 11, 2023

Warren County Regional Planning
Attn: Ryan Cook
406 Justice Drive
Lebanon, Ohio 45036

Re: Greentree & Union Road Convenience Store Site Plan

Dear Mr. Cook;

The Board of Trustees of Turtlecreek Township and the Fire Chief have reviewed Greentree & Union Road Convenience Store Site Plan.

The Board of Trustees of Turtlecreek Township and the Fire Chief would request that additional landscape buffers be required on the residential side of the property, down lighting be implemented to eliminate a nuisance to the residential property owners, the truck fueling stations be eliminated as well as truck parking, the hours of operation be limited to 6:00 a.m. to 11:00 p.m. daily, brick exterior be used on the building and that a fire hydrant be located on the east side of Union Road.v

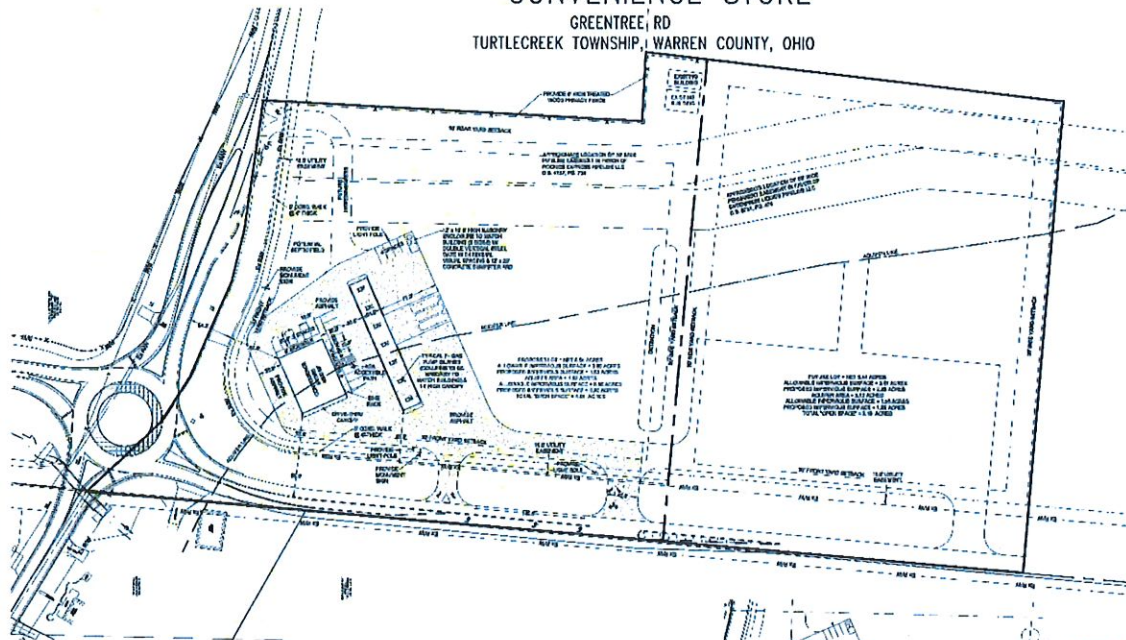
The Board of Trustees of Turtlecreek Township and Fire Chief would like to thank you for submitting the Greentree & Union Road Convenience Store Site Plan for the township's review.

Sincerely,

Daniel F. Jones
Board of Trustees Turtlecreek Township
Chairperson

SITE PLAN

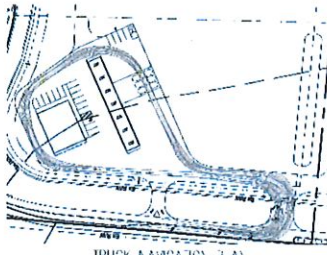
CONVENIENCE STORE
 GREENTREE RD
 TURTLECREEK TOWNSHIP, WARREN COUNTY, OHIO



PARTICLE D
 17,100 SQ. FT. MIN. GROSS AREA
 10,000 SQ. FT. MIN. NET AREA
 10,000 SQ. FT. MIN. NET AREA

ZONING
 M-10 - Medium Density Residential
 10,000 SQ. FT. MIN. GROSS AREA
 10,000 SQ. FT. MIN. NET AREA
 10,000 SQ. FT. MIN. NET AREA

PARKING REQUIREMENTS
 CONVENIENCE STORE: 1 SP/ 300 SQUARE FEET
 TOTAL REQUIRED PARKING SPACES: 4,500 SQUARE FEET = 15 SPACES
 TOTAL PROVIDED PARKING SPACES: 15 SPACES



VEHICLE TRACKING
 NEW TRAILER WIDTH 8' 6"

VEHICLE: WHEEL WIDTH = 8' 6"
 WHEEL LENGTH = 2' 6"
 VEHICLE WIDTH = 8' 6"
 FRONT OVERHANG = 4' 6"
 REAR OVERHANG = 4' 6"
 WHEEL WIDTH = 8' 6"

TRAILER: WHEEL WIDTH = 8' 6"
 WHEEL LENGTH = 4' 6"
 TRAILER WIDTH = 8' 6"
 FRONT OVERHANG = 8' 6"
 REAR OVERHANG = 4' 6"
 VEHICLE REAR AXLE TO WHEEL LENGTH = 8' 6"
 TRAILER FRONT AXLE TO WHEEL LENGTH = 4' 6"

3 WHEEL TRAILER
 10,000 SQ. FT. MIN. GROSS AREA
 10,000 SQ. FT. MIN. NET AREA
 10,000 SQ. FT. MIN. NET AREA

CONVENIENCE STORE PLAN FOR
 GREENTREE RD
 TURTLECREEK TOWNSHIP, WARREN COUNTY, OHIO

LESSMAN ENGINEERING & ASSOC.
 2000 TOWN HALL CONVENT ROAD, OHIO 43084-2000

SJL
 engineers

DRAWING TITLE
 PRELIMINARY PLAN

DRAWING NO.
 C1

23-02

Warren County Zoning Department
406 Justice Drive, Room 170 Lebanon, Ohio 45036
wczoning@co.warren.oh.us

Application # 102-2023

(Eff. 9/24/2020)

RECEIVED

AUG 10 2023

Application for Site Plan Review

WARREN COUNTY
REGIONAL PLANNING COMMISSION

- (1) Applicants Name(s): NIG TAKHAR OIL LLC
Phone: 937-604-0012 E-mail: TAKHAR OIL @ GMAIL . COM
Address: 4365 USA DR. Tipp City, Ohio 45371
- (2) Owner(s) Name(s): Fred & SANDRA Likes FRL REAL ESTATE
Phone: 513-200-2106 E-mail: Sandy@drewandlingrid.com
Address: 8500 EVSTIS FARM LANE CINCINNATI, OHIO 45243
- (3) Property location / Address: Greentree Rd Lebanon, OH 45036 (Greentree & Union)
Sidwell / Parcel Id 08-31-300-012-2 'Select Township 53- Turtlecreek
- (4) Current Use Agriculture Purposed Use Gas-Convenience Store
- (4) Current Zoning MXU-C
- (5) Property Description: Total Acreage: 13.0465 Public Road Frontage (feet): 1518'
- (5) Are there any Variances to the Zoning Regulations being requested? Yes: No:
- (6) Number of employees (if applicable) 3
- (7) Number of parking spaces 28 Independent of Fueling Spaces with TOTAL of 35 Spaces Proposed
- (8) Application requires compliance with the following in order for the application to be complete:
 - Applicant must complete the attached Authorization of Owner, if applicable (Page 4).
 - Applicant must complete the attached Temporary License/Right of Entry (Page 5).
 - Applicant must complete the applicable items listed on submitting Application requirements per Section 1.303.3
 - 4 identical drawings and 1 digital copy of the Site Plan (At a scale/size specified by Zoning Inspector) with vicinity & North arrow

Owners Name(s): Fred & SANDRA Likes FRL REAL ESTATE

Owner Signature(s): Fred R. Likes Sandra K. Likes Date: 8/4/2023

Applicant(s) Name(s): Amarjit S. TAKHAR

Applicant(s) Signature(s)*: Amarjit S. Takhar Date: 8/4/2023

***AN OWNER MAY REPRESENT HIMSELF/HERSELF AT THE SITE PLAN REVIEW HEARING. AN APPLICANT WHO IS NOT AN OWNER MAY NOT REPRESENT HIMSELF/HERSELF AT THE SITE PLAN REVIEW HEARING UNLESS THE APPLICANT IS A LICENSED ATTORNEY. NON-OWNER APPLICANTS AND OWNERS OF PROPERTY TITLED IN THE NAME OF A CORPORATION/LLC/PARTNERSHIP MUST BE REPRESENTED BY A LICENSED ATTORNEY DURING THE HEARING.**

For office use only:

Fee: \$500.00 Receipt: _____ Receipt Date _____

RECEIVED
AUG 04 2023
ZONING INSPECTION

Application for Site Plan Review – PROPOSED USE IN DETAIL

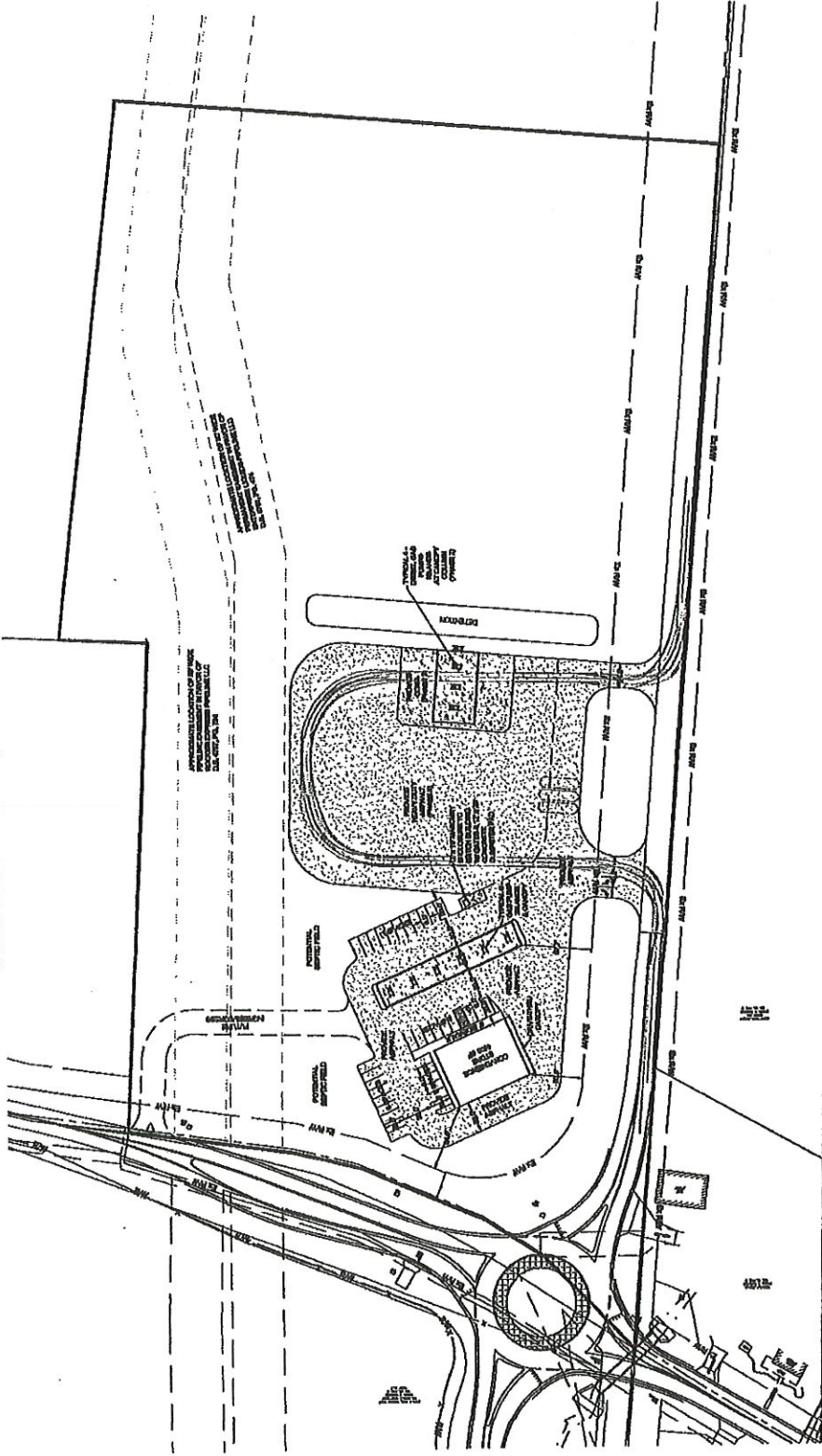
PROPOSED 4500' CONVENIENCE STORE Fueling station
with 6 pump STANDARD Vehicle CANOPY and 3 TRUCK
COMMERCIAL TRUCK Fueling canopy with LIMITED LARGE
TRUCK PARKING FOR STORE USE.

PROPOSED STORE includes DRIVE THRU CANOPY ATTACHED
to Building FOR FOOD & BEVERAGE/RETAIL SALES.



CONVENIENCE STORE

GREENTREE RD
TURTLECREEK TOWNSHIP, WARREN COUNTY, OHIO



PARCEL ID
7500 TORO HILLS, GREENHURST, OHIO 45424

ZONING: Mixed Use Center Zone
 MAX. USE = 75%
 MAX. HGT. = 30'
 SETBACKS: S.V. = 30'
 R.V. = 15'

PARKING REQUIREMENTS
 Automobile Storage: 1 per 250
 Service: 1 per 250
 REQUIRED PARKING SPACES: 10 per 100 = 20 Spaces
 4,000 sq/750 = 13 spaces
TOTAL REQUIRED PARKING SPACES: 33 spaces
TOTAL PROVIDED PARKING SPACES: 33 Spaces



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 1-800-368-2764
for better weather proofing

	7 S ENGINEER	LRSMAN ENGINEERING & ASSOC. ENGINEERING, SURVEYING, PLANNING 8720 TORO HILLS, GREENHURST, OHIO 45424 814/470430	CONVENIENCE STORE PLAN FOR GREENREE RD WARREN COUNTY, OHIO	DRAWING TITLE PRELIMINARY PLAN
				DRAWING NO. C1

Cook, Ryan A.

From: Weber, Kurt
Sent: Monday, August 14, 2023 5:22 PM
To: Cook, Ryan A.
Cc: Mick, David S.; Ryan, Tabitha; Brigano, Dominic M.
Subject: RE: Greentree & Union Site Plan Review

Ryan,

Our office will require the applicant to complete an Access Permit application and a TIS. They will also be required to comply with our Stormwater regulations.

Thanks,

Kurt E. Weber, PE, PS
Chief Deputy Engineer
Warren County Engineer's Office
210 West Main Street
Lebanon, OH 45036
direct: 513-695-3306
kurt.weber@co.warren.oh.us

From: Cook, Ryan A.
Sent: Thursday, August 10, 2023 3:30 PM
To: Tammy Boggs; Weber, Kurt; Mick, David S.; Brausch, Chris G.; Wojnicz, Christopher A.; Tara Thornton; Duane Stansbury; Brad King; Chris Balster; Conley, Molly M.; Wagner, Tessa L.; HENRICH, DEAN; SJ1469@att.com; Sarakatsannis, Carla J.; kyle.quackenbush@tallgrassenergyllp.com; dean.dick@tallgrassenergyllp.com; publicawareness@eprod.com; land_encroachments@eprod.com
Subject: Greentree & Union Site Plan Review

All,

Enclosed is the **Greentree & Union Road Convenience Store** Site Plan Review planned in Turtlecreek Township.

Your written comments and/or requirements from the review of the plan are requested.

Please respond by **August 29, 2023**.

Thank you,

Ryan Cook | Senior Planner
Warren County Regional Planning Commission
513-695-2453



Public Health
Prevent. Promote. Protect.

WARREN COUNTY HEALTH DISTRICT
416 South East Street – Lebanon, Ohio 45036

Duane Stansbury, REHS, MPH
Health Commissioner

August 14, 2023

Ryan Cook
Warren County Regional Planning Commission
County Administration Building
406 Justice Drive
Lebanon, Ohio 45036

RE: Greentree & Union Road Convenience Store Site Plan Review

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If you have any questions, I can be reached either at 513-695-1473 or at bking@wcchd.com.

Sincerely,

Brad King, MPH, REHS
Environmental Health Supervisor

CC: Duane Stansbury, REHS, MPH, Health Commissioner
Chris Balster, MPH, REHS, Assistant Health Commissioner
Tara Thornton, REHS, Director of Environmental Health
Benjamin Ginter, REHS, Environmental Health Supervisor
Ed Mann, Chief Plumbing Inspector

Revised April 13, 2023

Tel: 513-695-1220 Fax: 513-695-2941
warrenchd.com

Cook, Ryan A.

From: Kevin.Chandler@epa.ohio.gov
Sent: Friday, August 25, 2023 11:06 AM
To: Cook, Ryan A.
Subject: Greentree & Union Site Plan Review OEPA

You don't often get email from kevin.chandler@epa.ohio.gov. [Learn why this is important](#)

Hello Ryan,

I have completed my review and have the following comments/requirements:

- Does the gas station/convenience store have flow records from existing similarly sized facilities that can help pinpoint wastewater flow volumes? Without knowing all the details this facility has potential to have a significant wastewater flow volume.
- Will there be food service within the convenience store? The drive thru suggest there might be food service. If so, considerations will need to be taken for a pretreatment component of the on-site septic system.
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Thank you for the opportunity to preview these plans, if you have any questions please let me know.



Kevin Chandler

Environmental Specialist II

Division of Surface Water

401 E. 5th St.

Dayton, OH 45402

D: 937.285.6034

Kevin.Chandler@epa.ohio.gov

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Cook, Ryan A.

From: Wagner, Tessa L.
Sent: Thursday, August 17, 2023 4:04 PM
To: Cook, Ryan A.
Subject: RE: Greentree & Union Site Plan Review

Good afternoon Ryan,

The Warren County Soil and Water Conservation District has the following comments for the Greentree & Union Convenience Store Site Plan Review:

1. An Earth Disturbing Permit from Warren County SWCD will be required if 1 acre or more of land will be disturbed during construction. Please contact Warren SWCD for more information.

Thank you,

Tessa

Tessa Wagner
Urban Program Specialist
Warren County Soil and Water Conservation District
PHONE - (513) 695-1355 | EMAIL Tessa.Wagner@co.warren.oh.us

Development Digest August Blog: [Skimmers + An Example from the Field](#)
Upcoming Event: [Stormwater Field Day](#)

From: Cook, Ryan A. <Ryan.Cook@co.warren.oh.us>
Sent: Thursday, August 10, 2023 3:30 PM
To: Tammy Boggs <tboggs@turtlecreektownship.org>; Weber, Kurt <kurt.weber@co.warren.oh.us>; Mick, David S. <David.Mick@co.warren.oh.us>; Brausch, Chris G. <Chris.Brausch@co.warren.oh.us>; Wojnicz, Christopher A. <Christopher.Wojnicz@co.warren.oh.us>; Tara Thornton <tthornton@wcchd.com>; Duane Stansbury <dstansbury@wcchd.com>; Brad King <bking@wcchd.com>; Chris Balster <cbalster@wcchd.com>; Conley, Molly M. <Molly.Conley@co.warren.oh.us>; Wagner, Tessa L. <Tessa.Wagner@co.warren.oh.us>; HENRICH, DEAN <dh8486@att.com>; SJ1469@att.com; Sarakatsannis, Carla J. <Carla.Sarakatsannis@duke-energy.com>; kyle.quackenbush@tallgrassenergyllp.com; dean.dick@tallgrassenergyllp.com; publicawareness@eprod.com; land_encroachments@eprod.com
Subject: Greentree & Union Site Plan Review

All,

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Your written comments and/or requirements from the review of the plan are requested.

Please respond by **August 29, 2023**.

Thank you,

Ryan Cook | *Senior Planner*



MR. JAMES VANDEGRIFT
MR. DANIEL JONES
MR. JONATHAN SAMS
MS. AMANDA CHILDERS

TRUSTEE
TRUSTEE
TRUSTEE
FISCAL OFFICER

August 30, 2023

Warren County Regional Planning
Attn: Ryan Cook
406 Justice Drive
Lebanon, Ohio 45036

Re: Greentree & Union Road Convenience Store Site Plan

Dear Mr. Cook;

The Board of Trustees of Turtlecreek Township and the Fire Chief have reviewed Greentree & Union Road Convenience Store Site Plan.

The Board of Trustees of Turtlecreek Township and the Fire Chief would request that a landscape buffer be required and that a fire hydrant be located on the east side of Union Road.

The Board of Trustees of Turtlecreek Township and Fire Chief would like to thank you for submitting the Greentree & Union Road Convenience Store Site Plan for the township's review.

Sincerely,

Daniel F. Jones
Board of Trustees Turtlecreek Township
Chairperson

DFJ/tb
Cc: file



670 North State Route 123
Lebanon, OH 45036



513.932.4902



info@turtlecreektownship.org

